



BOABC – 2024 BCBC, Bylaws & Regulations for Registered Professional

March 21, 2024

Hosted by: Ken Kunka, BCQ

Promoting Building Safety and Professionalism



Overview

Information presented today does not directly represent the opinions of the Building Officials Association of BC.

This presentation is conceptual and for informal educational purposes only. The presenters and association takes no responsibility for application of any concepts or interpretations in this presentation to specific projects.

(it may ask more questions than provide answers)

The slides must not be considered complete or exhaustive. Code provisions have been generally represented and may not reflect all exceptions.

Presenting from Summerland, on the ancestral and unceded territory of the Syilx People in the Okanagan Nation.



Rules of the Room



- Registration will be tracked
- Presentation is not recorded but PowerPoint will be posted
- Please use raise hand icon if you have a question or comment
- PUT IT in the CHAT
- Please mute your microphone
- You may need to turn off your camera
- Please follow up by email if you have specific question or example to share with the membership.
 - kkunka@boabc.org



Poll Question #1

What is your level of BOABC Qualification?

- Level 01 Building – 16%
- Level 02 Building – 14%
- Level 03 Building – 34%
- Level 01 Plumbing – 23%
- Level 02 Plumbing – 9%
- Other – 4%

Poll Question #2

What region are you from?

- Lower Mainland – 51%
- South Central Interior – 19%
- Kootenay – 8%
- Northwest – 1%
- Central North Interior – 3%
- Vancouver Island North – 12%
- Vancouver Island South – 7%



March 21 – Reg. Professionals

Today

- What's New Update and Training
- Interpretations and Appeals
- New Code overview
- Registered Professionals
 - Authority – Registered Professionals
 - Code – Division A, B, C
 - Industry Regulations/Acts
 - Bylaws
 - New Code – Structural Part 4 & 9* time permitting

Lunch and Learns

CPD Eligibility: 1 point/presentation (Category A4). You will need to self report this point. Initial next to the presentation and then save it as a pdf to upload as proof. Previous Lunch and Learns can be found:

<https://boabc.org/cpd-opportunity-lunch-learn-webinars/>



What's New at the Association

What's New

CPD Opportunity –
CASA Educational
Seminar Series



[Learn More ▶](#)

Lunch & Learn – March
21, 2024



[Learn More ▶](#)

CPD Opportunity –
Local Government
Compliance and
Enforcement
Association (LGCEA)
Conference



[Learn More ▶](#)

2024 BOABC
Conference
Registration is Now
Open



[Learn More ▶](#)



WHATS NEW -NFPA Standards

[Home](#) / [Continuing Professional Development](#) / CPD Opportunity – CASA Educational Seminar Series

CPD Opportunity – CASA Educational Seminar Series

CASA will once again be offering a series of [Live Virtual Educational Seminars](#) in 2024. The seminars will review a series of Fire Sprinkler / Fire Protection related subjects in accordance with the appropriate NFPA Standards, National Building Code & National Fire Code requirements. The Live Virtual seminars will help educate and offer best practices to the attendees on where to find the appropriate information in the referenced NFPA Standard, as well as how best to interpret and understand the intent of the many clauses found in the NFPA Standards and National Building Code & National Fire Code. The seminars will be presented in a virtual format via Zoom Video Conferencing, and all attendees will be provided with an attendee workbook.

Cost:

- Member rate: \$175 plus GST
- NON-member rate: \$265 plus GST

CPD eligibility:

- 4 points for a 4-hour webinar
- 5 points for a 5-hour webinar

These points qualify under Category A4 and will need to be self-reported.

Session times and details:

- **Tuesday April 23, 2024** – Update on 2019 Version of NFPA 13, NFPA 13R, NFPA 13D; from 11:00am – 3:00pm EST: [Click here to register](#)
- **Tuesday May 7, 2024** – Inspection, Testing & Maintenance of Fire Sprinklers -Overview of NFPA 25, from 11:00am – 4:00pm EST: [Click here to register](#)
- **Tuesday July 9, 2024** – Overview of NFPA 24 -Installation of Private Fire Service Mains and Their Appurtenances, from 11:00am – 3:00pm EST: [Click here to register](#)
- **Tuesday July 30, 2024** – Overview of Proper Acceptance Testing / Commissioning of Sprinkler Systems/Standpipes/Fire Pumps, from 11:00am – 4:00pm EST: [Click here to register](#)
- **Tuesday October 8, 2024** – Update and Best Practices on AFFF Foam, from 11:00am – 4:00pm EST: [Click here to register](#)
- **Tuesday November 5, 2024** – Sprinkler System Plan Review, from 11:00am – 4:00pm EST: [Click here to register](#)
- **Tuesday November 19, 2024** – Pumps for Fire Protection Seminar -Overview of NFPA 20, from 11:00am – 4:00pm EST: [Click here to register](#)
- **Tuesday December 10, 2024** – Standpipe Systems for Fire Protection -Overview of NFPA 14, from 11:00am – 4:00pm EST: [Click here to register](#)



2024 Code Update – Div B - Part 01

Section 1.3. Referenced Documents and Organizations

Please note! NFPA 13 – Version changes

- NFPA-13 from 2013 to 2019 - Registered Professional Design
- NFPA-13R from 2013 to 2019 - Registered Professional Design
- **NFPA-13D** from 2013 to 2016 - Registered Professional Design
Not Required
 - **What qualifications are required to design?**



WHATS NEW – Change for Ken



Follow on LinkedIn for updates
Contact

ken.flywheel@gmail.com

kkunka@boabc.org

After 30 years as a Building Official and 13 years as the Building and Permitting Manager – City of Penticton – moving on to the next phase of my career.

Flywheel Building Solutions - current

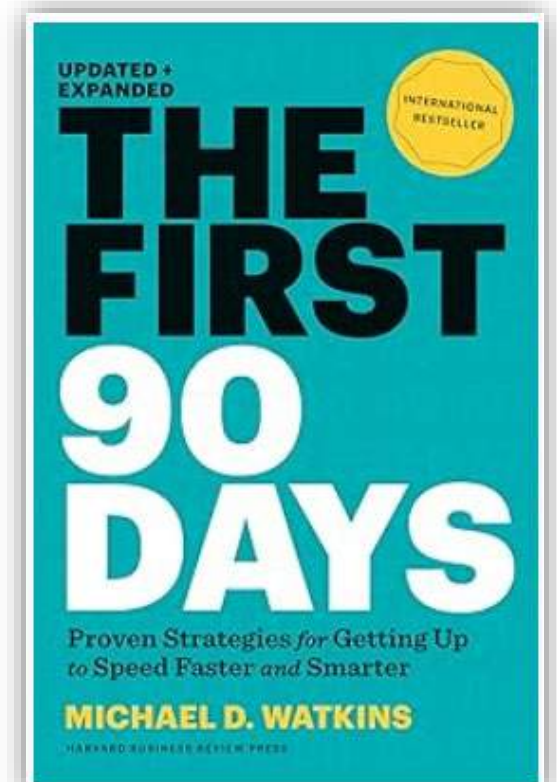
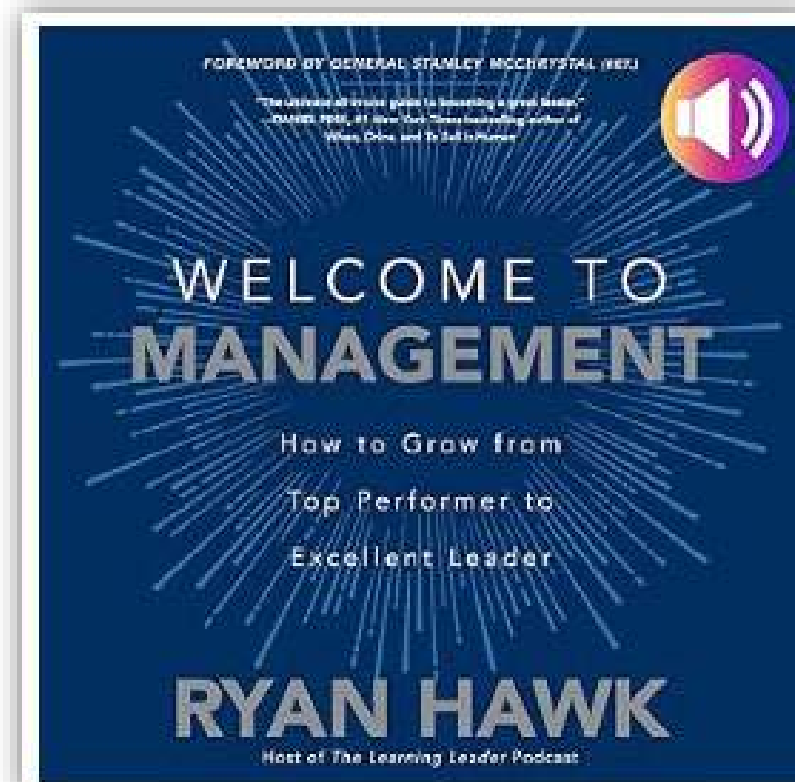
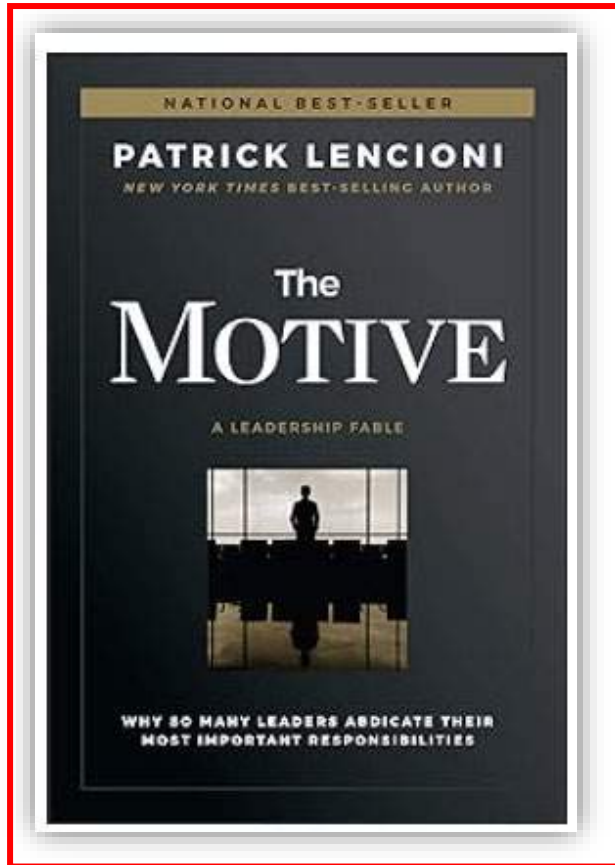
- Design and Consulting
- BOABC – L&L

May/June 2024 - expanding

- Research and Development – Bulletins and Technical guides
- Code Coaching – Teams and One:One
- Leadership and Enforcement Coaching



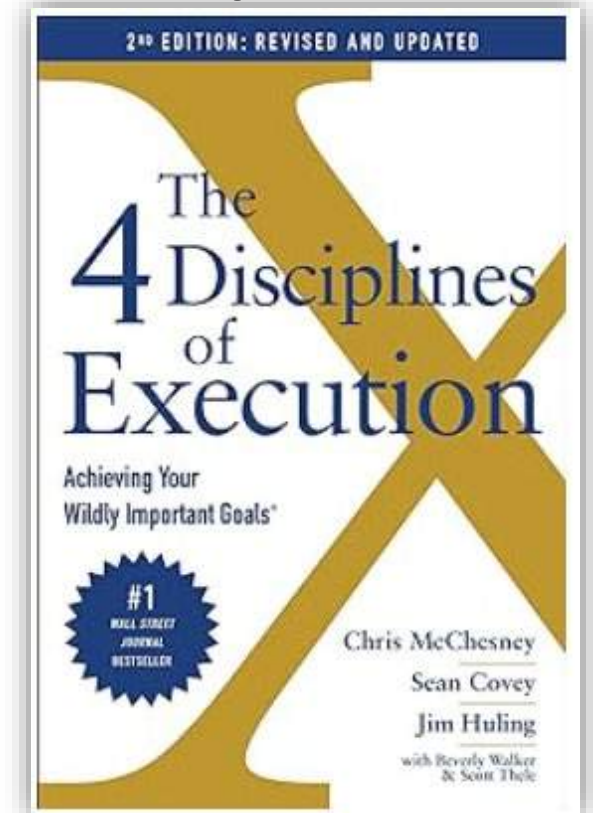
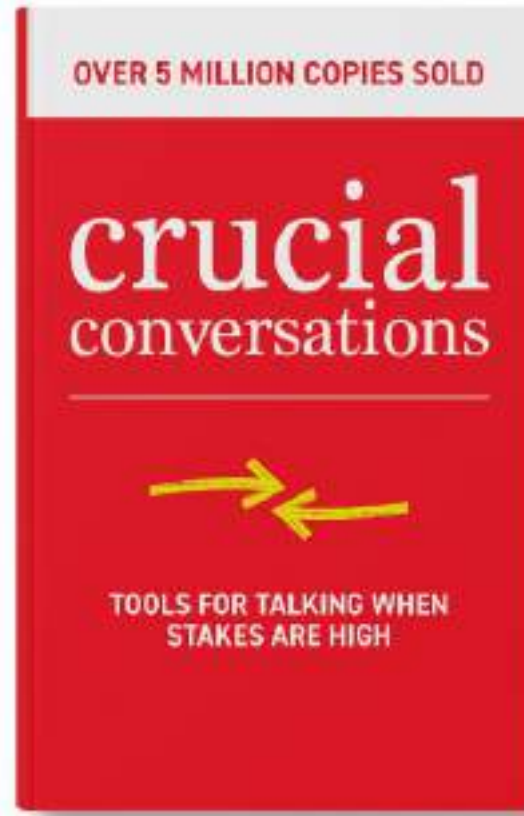
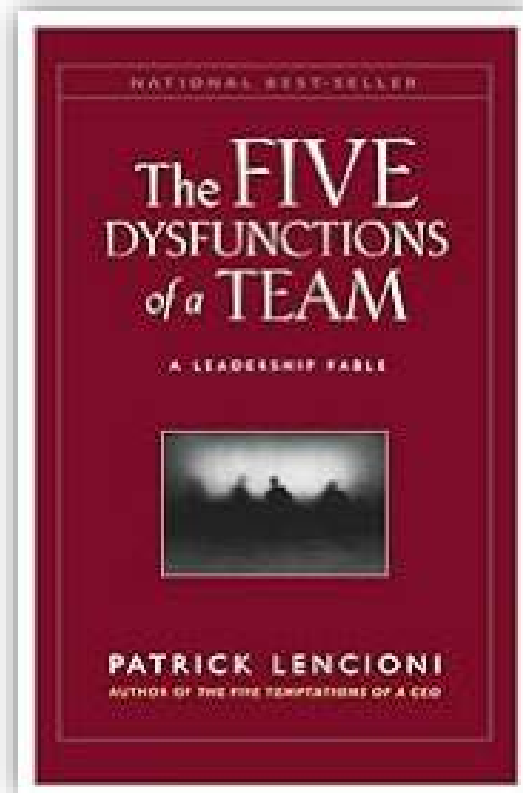
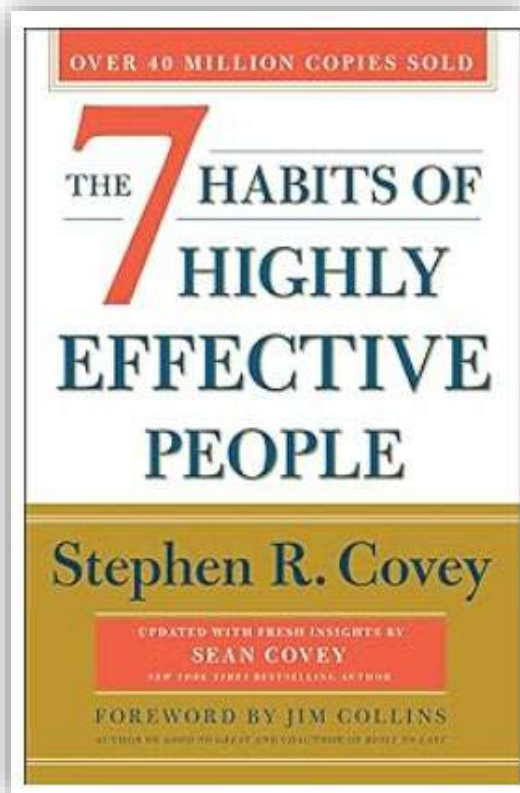
Recommendations-Leadership



I would recommend reading and or listening to these books if you are interested or asked to be a supervisor, manager or leader (each step is different!!). **Do it for the right reasons.**



Recommendations-Team/Self Development



Leaders are Readers – look into these and hopefully your local government has internal training opportunities. LGMA (MATI) and the Justice Institute have excellent courses.

Just make sure your boss also reads them, so that you are on the same page!



2024 NEW Code - Code Updates

If you attended the in-person training at the River Rock in November, **you are not** required to register for the online code update courses.

2024 Building & Plumbing Code Update Courses



[Learn More](#)

Training requirements for qualified officials:

- Building: qualified building officials must complete the building code update training only
- Plumbing: qualified plumbing officials must complete the plumbing code update training only
- Building & Plumbing: anyone who is dual qualified as both a building and plumbing official must complete building **and** plumbing code update training

Building (includes Energy) & Plumbing - Pre-register	\$375 plus GST
Building Only (includes Energy) - Pre-register	\$325 plus GST
Plumbing Only - Register now	\$125 plus GST
Energy Only - Register now	\$125 plus GST

Get the word out – Open to non-members



BOABC 2024 Conference

2024 BOABC
Conference
Registration is Now
Open



[Learn More ▶](#)

2024 Conference



The 2024 Conference for the Association will be taking place May 26 to 29, 2024 at the River Rock Casino Resort.

www.boabc.org

May 26 to 29



BOABC 2024 AGM



Calendar

Online Learning Information

[About](#) [Membership](#) [Qualification](#) [Certification](#) [Exams](#) [Education & Interpretations](#) [2024 Conference](#) [Contact Us](#)



[Home](#) / [News](#) / [Call for Nominations - BOABC 2024 AGM](#)

Call for Nominations – BOABC 2024 AGM

The BOABC Annual General Meeting, will be held at 9:00 am on Tuesday, June 25, 2024. Unlike past years, the AGM is not being held at the Annual Conference in May. Instead, the AGM will be held online.

Pursuant to section 7(4) of the [bylaws](#), formal notice of the AGM will be distributed to all members at least 30 days before the June 25, 2024, meeting date. The notice will include a registration link for the online meeting and agenda documents for members to review ahead of time.

The Governance and Nominating Committee is calling for nominations of candidates to serve on the BOABC Executive Committee.

- [Positions Open for Nomination](#)
- [Call for Nominations Form](#)

If you have any motions to put forward, please complete the [Call for Motions form](#).

Completed and signed nomination and motion forms must be submitted by 3:00 pm on Friday, April 12, 2024, to be considered at the 2024 AGM.

Call for Nominations –
BOABC 2024 AGM



[Learn More](#)

www.boabc.org

AGM – June 25th



MHABC Conference-Penticton

There is a 50% discount at the moment for the next 10 individuals to register from BOABC for a 2-day pass.

Enter the following promo code on our website (case sensitive):
24MODULARFORBC



**Modular for BC
Roadmap to Housing Solutions**

April 29, 30 & May 1, Penticton Lakeside Resort

Modular For BC- the roadmap to housing solutions. Enjoy expert speakers, actionable sessions, government networking opportunities, updates on provincial changes affecting the province.

[REGISTER NOW](#)

www.boabc.org

April 29, 30, May 01



2024 BC Code Appeals - Interpretations

Radon – Habitable space over garages

BC Code Appeals - binding

Interpretations – not binding

BC BUILDING CODE INTERPRETATION COMMITTEE
A joint committee with members representing
AIBC, EGBC, BOABC

File No: 18-0300 **INTERPRETATION** **Page 1 of 1**

Interpretation Date:	February 13, 2024
Building Code Edition:	BC Building Code 2018
Subject:	Radon Rough-in Requirement for Habitable Space Over Garage
Keywords:	Radon, Rough-in
Building Code Reference(s):	9.13.4.1.(1)(a), 9.13.4.2.(1), 9.13.4.2.(2), 9.10.9.16.(4)(a)

Question:
Where there is a dwelling unit, or portions of a dwelling unit, located above an unconditioned space such as a garage, that has a floor-on-ground, is a rough-in for a radon extraction system required below the floor-on-ground?

Interpretation:
No.
Sentence 9.13.4.2 (2) states "Except as permitted by Sentence (4), unless the space between the air barrier system and the ground is designed to be accessible for the future installation of a subfloor depressurization system, dwelling units and buildings containing residential occupancies shall be provided with the rough-in for a radon extraction system conforming to Article 9.13.4.3."
In the case of an unconditioned space, such as a garage which incorporates a floor-on-ground, this would provide the space necessary to install mitigating features should the presence of radon be detected in the building. In the situation where the unconditioned space is a garage an air barrier system conforming to Clause 9.10.9.16 (4)(a) would also be required to separate the garage from the habitable space.

Patrick Shek
Patrick Shek, P.Eng., C.P.Eng., Committee Chair

The views expressed are the consensus of the joint committee, with members representing AIBC, EGBC and BCABC, which form the BC Building Code Interpretation Committee. The AIBC and BCABC are both members of the BC Building Code Interpretation Committee. The purpose of the committee is to encourage a more uniform and consistent interpretation of the BC Building Code. These views should not be considered as the official interpretation of a regulated requirement based on the BC Building Code, as final responsibility for an interpretation rests with the local Authority Having Jurisdiction. The views of the joint committee should not be considered as legal advice.

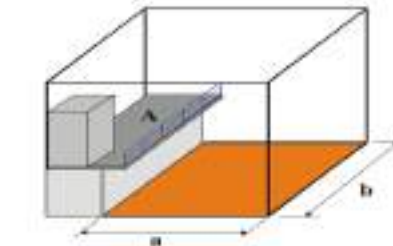
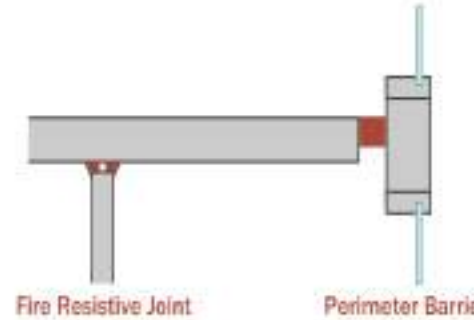


Next Lunch and Learn – April

Fire Protection – 3D Illustrated walk-thru

- 3.1.9. Penetrations in Fire Separations and Fire-Rated Assemblies
- 9.10. Mezzanines, Fire & Smoke Separations, Penetrations and Misc.

Please forward questions or bulletins to Ken Kunka at kkunka@boabc.org.



A = area of the mezzanine



Images used with permission from Hilti Canada and Archtoolbox

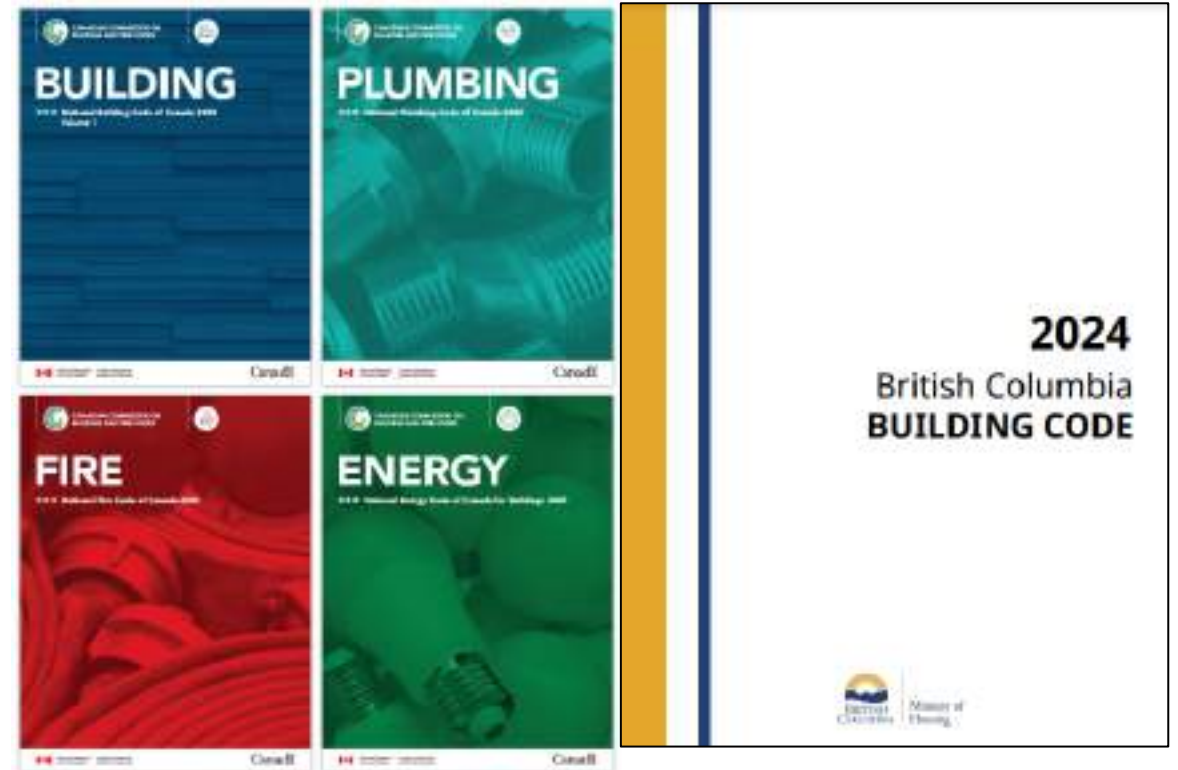


2024 Building Code Updates - UPDATE

2024 BC Building Code updates

(Harmonization) 2023

- Not fully harmonized (2025 NBC in the works)
- Still some Unique-to-B.C.
 - Secondary suites
 - Low Occupant Load Assembly





2024 BC Building Code New Format

- Matches look of NBC
- FREE! Online Only
- **Updated March 8th – more hyperlinks and Introduction section**
- **1886 pages!**
- Overall static document
- **Volume 02 – Part 9 Only**
- Further upgrades coming and maybe even A.I. ?

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Conversion Factors



2024 BCBC Marked Changes

9.10.2.5. Group A, Division 2, Low Occupant Load

1) This Part may apply to a Group A, Division 2 assembly occupancy that is permitted by Article 3.1.2.7. to be classified as a Group D, business and personal services occupancy, provided the building in which the assembly occupancy is located complies with Sentence 1.3.3.3.(1) of Division A. (See Note A-3.1.2.7.)

Left margin indicates unique to BC code item or change.

2018 BCBC

9.10.14. Spatial Separation Between Buildings

9.10.14.1. Application

1) This Subsection applies to *buildings* other than those to which Subsection 9.10.15. applies.

9.10.14.2. Area and Location of Exposing Building Face

- 1) Except as permitted by Sentence (2), the area of an *exposing building face* shall be
 - a) taken as the exterior wall area facing in one direction on any side of a *building*, and

2024 BCBC

9.10.14. Spatial Separation Between Buildings

9.10.14.1. Application

- 1) This Subsection applies to *buildings* other than those to which Subsection 9.10.15. applies.
- 2) This Subsection does not apply to detached carports conforming to Section 9.35. that serve not more than one *dwelling unit* or a house with a *secondary suite*.

9.10.14.2. Area and Location of Exposing Building Face

- 1) Except as permitted by Sentence (4), the area of an *exposing building face* shall be
 - a) taken as the exterior wall area facing in one direction on any side of a *building*, and

Right margin lines indicates change from NBC



2024 BCBC TOUR



BRITISH
COLUMBIA

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MORE TOPICS

BC Codes

BC Codes 2024

[BC Codes 2018](#)

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[Letters of Assurance](#)

[BC Public Review](#)

[National Model Codes](#)

BC Codes 2024

✦ Last updated on March 8, 2024

① BC Codes 2024 are now in effect, except for adaptable dwellings and earthquake changes which take effect March 10, 2025.

① An updated version of the BC Codes 2024 is now available, offering code users new interactive features.

① New technical bulletins for the 2024 BC Building Code are now available.

On this page

- [About the BC Codes 2024](#)
- [Access the 2024 Codes](#)



2024 BCBC, Bylaws & Regulations for Registered Professional



Professional Governance Act

All Registered Professionals fall under the Professional Governance Act

- Engineers and Geoscientists Regulation
- Architects Regulation
 - *Applied Science Technologists and Technicians Regulation

<https://professionalgovernancebc.ca/about/professional-governance-act/>



OSPG

Office of the Superintendent
of Professional Governance

Home / About / Professional Governance Act

Home

About

- What we do
- Professional Governance
- Professional Governance Act
- Superintendent
- Professional Governance Advisory Committee
- Indigenous Reconciliation
- Complaints/Concerns
- How Can You Become Involved?
- Engagement
- Reference Materials

Professional Governance Act

Links

The following are links to relevant legislation posted on the [BC Laws website](#):

- [Professional Governance Act](#)
- [Profession Governance General Regulations](#)
- [Engineers and Geoscientists Regulation](#)
- [Forest Professionals Regulation](#)
- [Applied Biologists Regulation](#)
- [Agrologists Regulation](#)
- [Applied Science Technologists and Technicians Regulation](#)
- [Architects Regulation](#)

The next link is for amendments to the Professional Governance General Regulations, CAB, and BCIA regulations that came into force September 1, 2022:

[Order in Council 517/2021](#)



2024 Code – Architects - Part 09

<https://boabc.org/wp-content/uploads/2024/01/Descriptive-Information-Guide.pdf>

Architects for Part 9 buildings

NOTE – Architects regulation requires an Architect where there are more than 4 dwelling units and more than 470sqm of total floor area for commercial space, etc



Note – A2 Low Occupancy allowance under Article 3.1.2.7. to be classified as Group D (unique to BC)

Application of Part 9

- 1) Part 9 of Division B applies to all *buildings* described in Article 1.1.1.1. of 3 storeys or less in *building height*, having a *building area* not exceeding 600 m², and used for *major occupancies* classified as
 - a) reserved
 - b) Group C, *residential occupancies* (see Note A-9.1.1.1.(1) of Division B),
 - c) Group D, *business and personal services occupancies*,
 - d) Group E, *mercantile occupancies*, or
 - e) Group F, Divisions 2 and 3, *medium- and low-hazard industrial occupancies*.

BCBC - Building area means the greatest horizontal area of a building above grade within the outside surface of exterior walls or within the outside surface of exterior walls and the center line of firewalls.



Requirements – Part 9 - Arch

Poll Question #3

An Architect has been retained to design a “simple” Part 9 home. What are they required to submit?

- Sealed drawings – 21%
- Letters of Assurance – 2%
- Both – 27%
- Neither – 50%



2024 BC Building Code – Reg. Prof.

2024 BCBC makes (Ctrl+F)
approximately 57
references to **Registered
Professional(s)**

**Division C is the main
reference for when a R.P
is required.**

*Did you know there are no page # in
the Code.*

https://www2.gov.bc.ca/assets/gov/farming-natural-resources-and-industry/construction-industry/building-codes-and-standards/revisions-and-mo/bcbc_2024.pdf

Conformity Assessment

The NBC establishes minimum measures, which are set out within its own text or within referenced standards. However, the NBC does not set out who is responsible for assessing conformity to the measures or how those with this responsibility might carry it out. This responsibility is usually established by the governing legislation of the adopting provinces and territories. Provincial or territorial authorities should be consulted to determine who is responsible for conformity assessment within their jurisdiction.

In British Columbia, local authorities are authorized to, by bylaw, regulate construction and to enforce the requirements of the BCBC.

Those persons responsible for ensuring that materials, appliances, systems and equipment meet the requirements of this Code have several means available to assist them, ranging from on-site inspection to the use of certification services provided by accredited third-party organizations. Test reports or mill certificates provided by manufacturers or suppliers can also assist in the acceptance of products. Engineering reports may be required for more complex products.

Requirements for **Registered Professionals** are located in Division C of the BCBC



2024 BC Building Code – Defined Terms.

Coordinating registered professional means a registered professional retained under Clause 2.2.7.2.(1)(a) of Division C to coordinate all design work and field reviews of the registered professionals who are required for a project. *(this was not in the first version of the 2024BCBC)*

Owner means any person, firm or corporation controlling the property under consideration during that period of the application of Sentence 1.1.1.1.(1) of this Code. *(was not in the 2018 BCBC)*

Registered professional means

- a person who is registered as an Architect with the Architectural Institute of British Columbia under the Professional Governance Act, or
- a person who is registered as a professional engineer or professional licensee engineering with the Association of Professional Engineers and Geoscientists of the Province of British Columbia under the Professional Governance Act.

Registered professional of record means a registered professional retained to undertake design work and field review in accordance with Subsection 2.2.7. of Division C.

https://www2.gov.bc.ca/assets/gov/farming-natural-resources-and-industry/construction-industry/building-codes-and-standards/revisions-and-mo/bcbc_2024.pdf



2024 BC Building Code – Field Reviews

Field review means a review of the work

- at a *building* site, and
- where applicable, at locations where *building* components are fabricated for use at the *building* site

that a *registered professional* in their professional discretion considers necessary to ascertain whether the work substantially complies in all material respects with the plans and supporting documents prepared by a *registered professional*.

Does EGBC and AIBC provide guidance for “substantially complies & professional discretion”?



Poll Question #4 – Field Reviews

Are you finding it difficult to obtain field reviews in a timely manner?

- Yes – 60%
- No – 37%

Put in the chat, which is the most problematic discipline to collect.



2024 Code – Reg Prof – Div C (Part 9)

2.2.7. Professional Design and Review

(See Note A-2.2.7.)

2.2.7.1. Application

- 1) The requirements of this Subsection apply to
 - a) *buildings* within the scope of Part 3 of Division B,
 - b) *buildings* within the scope of Part 9 of Division B that are designed with common egress systems for the occupants and require the use of *firewalls* according to Article 1.3.3.4. of Division A, and
 - c) the following, in respect of *buildings* within the scope of Part 9 of Division B other than *buildings* described in Clause (b),
 - i) structural components that are not within the scope of Part 9 of Division B (See Note A-2.2.7.1.(1)(c)(i).),
 - ii) geotechnical conditions at *building* sites that are not within the scope of Part 9 of Division B,



Code Update – Div C - Administrative Provisions

Administrative Provisions

Part 1 – General

Part 2 – Administrative Provisions

- No major changes but reminder of basic **design, field review and commissioning** requirements
 - “Who Is Responsible for What”
 - “**The Owner is ultimately responsible**”
- Alternative Solutions outlined
- Letters of Assurance
- **Notes – Detailed outline of design, field reviews and commissioning for Occupancy of buildings.**





Div C - Letters of Assurance - Changes

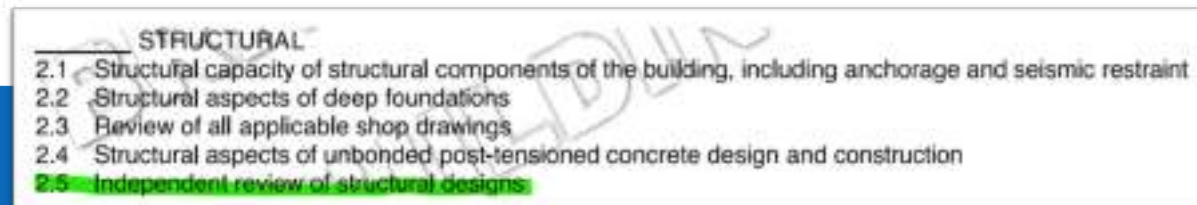
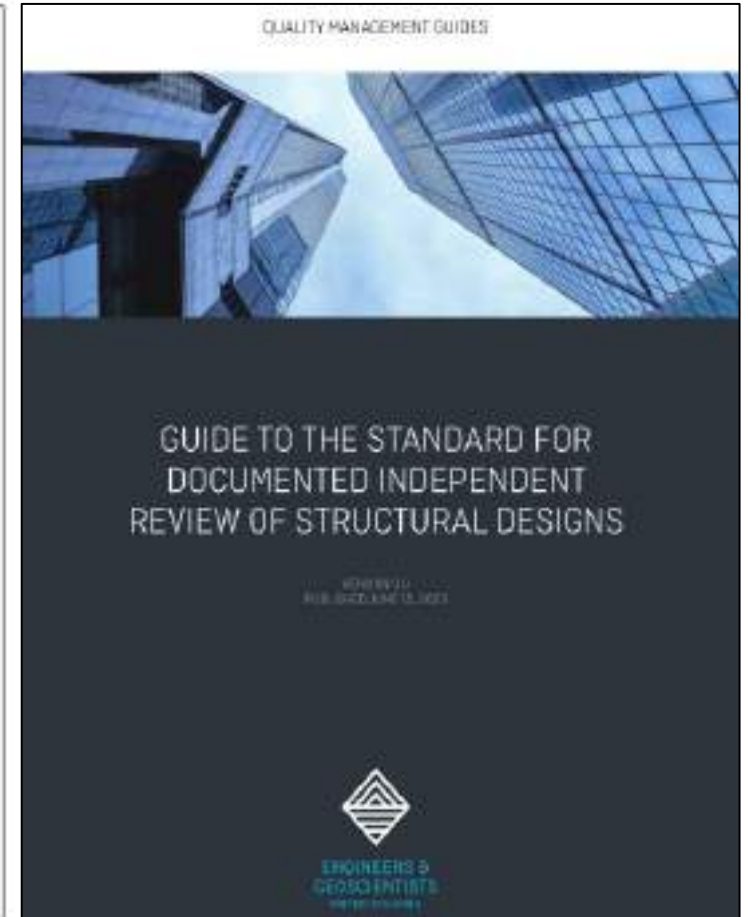
New Structural requirement.

2.5 Independent review of structural designs

Additional line for email address.

Please ensure the 2024 LoA is used for BP applications.

And remember field reviews are required for all disciplines!





Div C - Letters of Assurance - Changes

Modifications to LoA – avoid if possible

A-2.2.7. Professional Design and Review. This Subsection provides for the use of what are generally called Letters of Assurance. The letters themselves, known as Schedules A, B, C-A and C-B and located at the end of Division C, are intended to put on paper the responsibilities of the owner and the various **registered professionals** in a construction project. The Letters of Assurance do not impose any additional responsibilities on the **registered professionals** nor are they intended to alter the roles and responsibilities of the authorities having jurisdiction.

The Schedules have been very carefully scrutinized by the Province of British Columbia, Union of BC Municipalities, Building Officials' Association of British Columbia, Architectural Institute of British Columbia, Association of Professional Engineers and Geoscientists of British Columbia and their respective legal counsel. The precise wording in the letters is extremely critical and must not be modified. Any notations on these Schedules which are absolutely necessary to suit a particular project must be clearly and legibly marked in ink on the copies.



Guide to the Letters of Assurance!

- Phased projects
- Tenant Alterations
- Part 9

Industry Guides

GUIDE TO THE LETTERS OF
ASSURANCE IN THE
BC BUILDING CODE 2018 AND
VANCOUVER BUILDING BY-LAW 2019

VERSION B.1: February 11, 2022

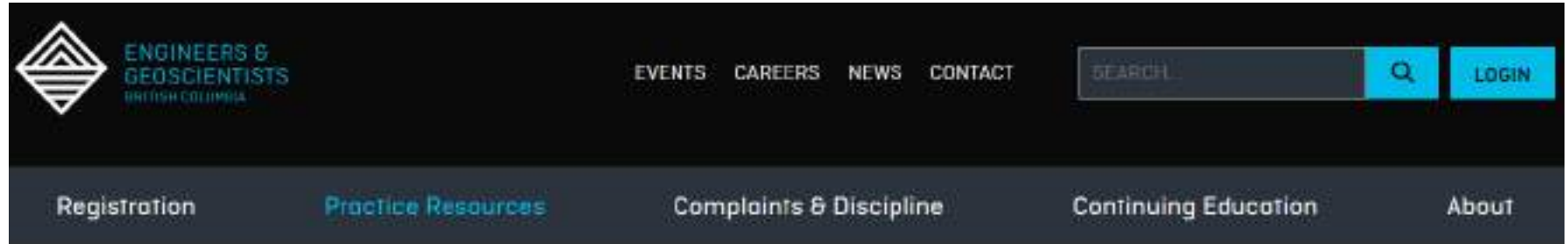
Building & Safety Standards Branch
Office of Housing and Construction Standards
Province of British Columbia

[NOTE VIDEO - https://apps.egbc.ca/knowledge-centre/cd614723-c31b-414f-9867-890a34ba8234/](https://apps.egbc.ca/knowledge-centre/cd614723-c31b-414f-9867-890a34ba8234/)



EGBC

Industry Guides



Home ▶ Practice Resources ▶ Individual Practice ▶ Guidelines & Advisories

Individual Practice

Individual Practice
Review

Individual Audit
Program

Quality Management
Guides

Guidelines & Advisories

Guidelines & Advisories
Development
Process

Guidelines & Advisories

As part of its mandate to serve and protect the public interest as it relates to the practice of professional engineering and professional geoscience, Engineers and Geoscientists BC works with experts in their fields to develop professional practice guidance for its registrants. Guidance is published in the form of either professional practice guidelines or practice advisories, depending on the scope and nature of the topic.

Both types of documents assist registrants in meeting their professional obligations under the *Professional Governance Act** and the Engineers and Geoscientists BC Bylaws by establishing expectations and obligations of professional practice in relation to specific professional activities. Registrants are required to stay informed of, be knowledgeable about, and meet the intent of guidance documents that are relevant to their area of practice. For more information on the development process refer to the [Guidelines & Advisories Development Process](#).

**Note: The Professional Governance Act (PGA) came into force on February 5, 2021 in British Columbia, replacing the Engineers and Geoscientists Act. When professional practice guidelines and practice advisories are revised they will be updated to reference the PGA. However, existing references to the Engineers and Geoscientists Act remain valid and binding.*

To find resources for firms, including the latest bulletins about the Permit to Practice Program, visit the Firm Practice page.



Industry Guides-EGBC

Building Engineers

GUIDELINES FOR PROFESSIONAL STRUCTURAL ENGINEERING SERVICES FOR PART 9 BUILDINGS IN BRITISH COLUMBIA

APEGBC PROFESSIONAL PRACTICE GUIDELINES

V3.0

Distinction between component reviews and Engineer of Record



Professional Engineers and Geoscientists of BC

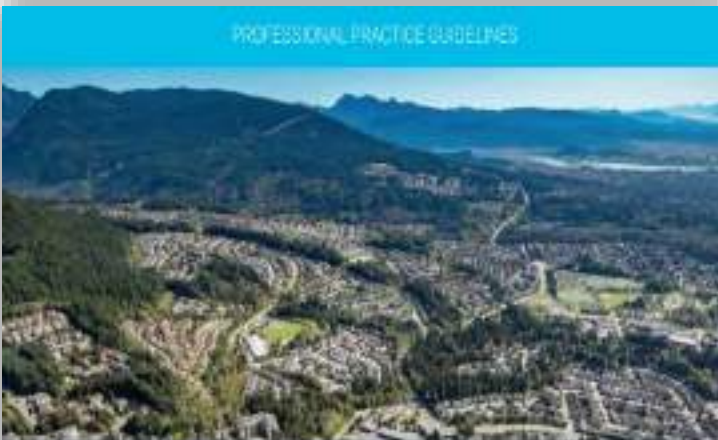
Housing Foundations and Geotechnical Challenges

BEST PRACTICES FOR RESIDENTIAL BUILDERS IN BRITISH COLUMBIA



BRITISH COLUMBIA
Professional Engineers
APEGBC
PROFESSIONAL ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA

PROFESSIONAL PRACTICE GUIDELINES



NATURAL HAZARDS

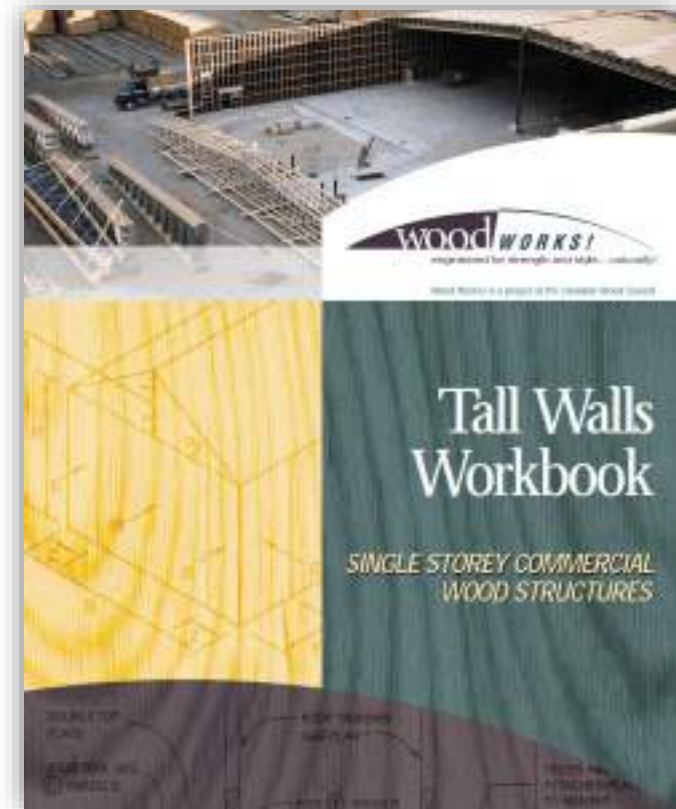
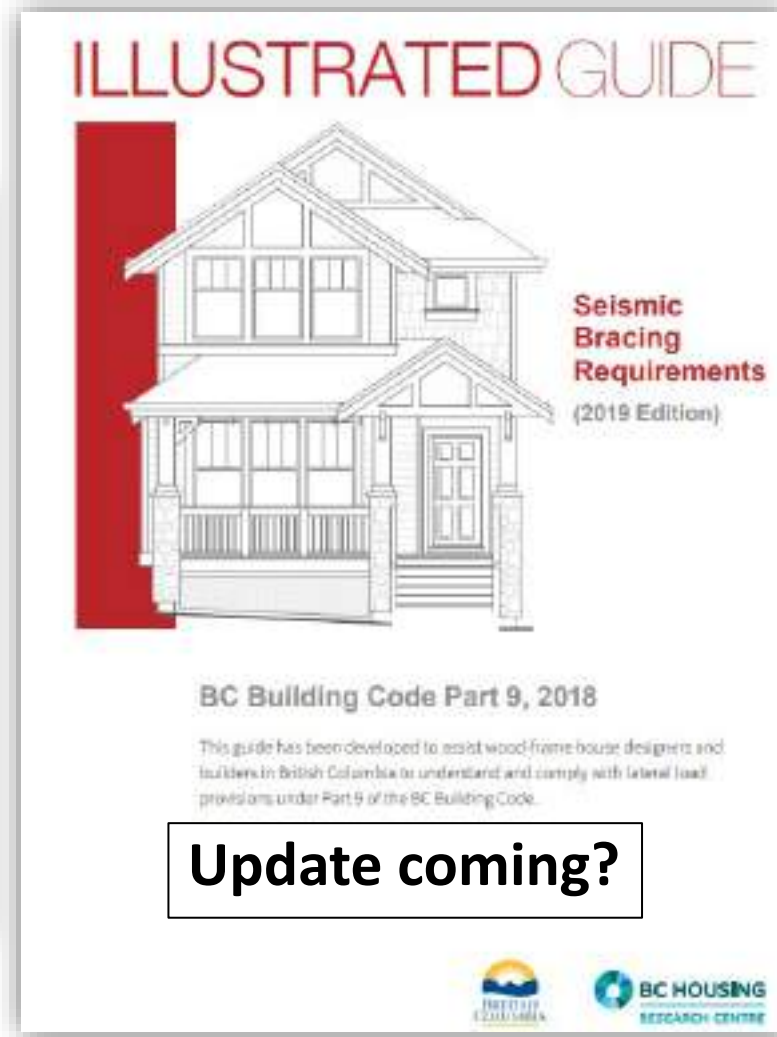
LANDSLIDE ASSESSMENTS IN BRITISH COLUMBIA

VERSION 4.1
PUBLISHED MARCH 1, 2023

Note – Section 56 of Community Charter - covenants



Industry Guides





Local Government Bulletins – RPs

DEVELOPMENT SERVICES

GEOTECHNICAL HAZARD ANALYSIS

Requirements for geotechnical analysis of geotechnical hazard areas.

Bulletin No. 28-01 Revised: 10/12/2014

PURPOSE

The following information is provided to outline the requirements for geotechnical investigation to address the known geotechnical hazard areas within the City of Penticton. The City of Penticton requires all developers and builders to ensure the land that they develop or build on is safe for the intended use. This bulletin does not replace the responsibility of a qualified Geotechnical Engineer to take all reasonable steps during their career.

The City of Penticton has identified specific hazard areas that need to be considered by the Engineer of Record for all development and building projects. This bulletin is to provide guidance on the potential impact on a project across different hazard areas. This includes the level of geotechnical investigation and the potential for the development to be limited in various ways by the geotechnical conditions.

REFERENCES & BACKGROUND

1. Building Bylaw No. 2025-21 – Part 3, Part 12 & Part 27
2. Subdivision & Development Bylaw No. 2006-03 – Section 20060 – Roads
3. Slope Stability Review for -The City of Penticton- District September 2002
4. Professional Practice Guidelines – Geotechnical Engineering Services for Building Projects – CGSB
5. Professional Practice Guidelines – Landslide Assessments in British Columbia – CGSB

IMPLEMENTATION

Prior to the submission of a development application, or building permit, the investigator is to review the hazard map(s) to determine the level of geotechnical investigation required to address the known geotechnical hazard. The City may not provide any development approvals without the Geotechnical Hazard investigation being completed.

The specific geotechnical hazard investigative tests to be placed on land that may impact some developments as may require additional civil works to address the hazard. These tests, or additional works, need to be determined to ensure the proposed development is safe and meets the geotechnical requirements set

DEVELOPMENT ENGINEERING BULLETIN

104 Revised 10/12/2014 penticton.ca Page 1 of 1

CITY OF Penticton

Building Bulletin

penticton.ca

November 01, 2018 Bulletin No. 19-02 Revised:

When is a Structural Engineer Required?

A guide to when Registered Professionals are required in addition to structural design for simple building projects.

Purpose

This bulletin has been created to clarify the City's requirements to engaging a Registered Professional - Structural Engineer for Part 9 Simple building projects.

Simple buildings are classified as buildings required under Part 9 of the BC Building Code. These would include the following:

- Group C, residential occupancies (see Appendix Note A-5.1.1.1.11) of Division B,
- Group D, business and personal services occupancies,
- Group E, mercantile occupancies, or
- Group F, Divisions 2 and 3, medium and low-rise industrial occupancies.

Background

Due to the increasing complexity of residential and commercial buildings, new building methods and the use of proprietary building components, the City has undergone a review of engineering requirements for simple buildings and structures related to the design and on-site reviews.

Reference and Authority:

- BC Building Code - Part 2 Administrative Provisions
- City of Penticton Building Bylaw 2018-01

As with the form and character of the building or property requiring unique oversight, the City has the authority to request the involvement of a Registered Professional (RP). Where an RP is involved they will become responsible for the design and applicable field reviews in lieu of inspection audits carried out by the City. Building Permit fees will be reduced depending on the type of project and RP's involved. The City's role for that discipline or coordination of the project is being adequately provided. This is typically accomplished with obtaining RP, field review reports in conjunction with the Letters of Assurance – Schedules A, C-A, and Schedules B and C-B's.

Implementation

The following projects will trigger the involvement of a Structural Engineer registered to practice in BC:

Part 9 (Simple Building) Residential and Commercial:

An Engineer will be required to review the following individual building components including the transfer of that load to the foundations. Where there are six (6) or more components listed below on one project then

CITY OF Penticton

Building Bulletin

penticton.ca

Bulletin No. 13-03 Revised: March 30, 2022

GLASS GUARDRAIL REQUIREMENTS

Design requirements related to Part 4, 4 & 9 of the BC Building Code

Purpose

The purpose of this bulletin is to provide a consistent interpretation of the installation of glass guard rails installed in commercial and residential applications as outlined in Part 4 and Section 9.8 of the BC Building Code. The following information will provide clarification for typical installation standard requirements to ensure minimum Building Code standards are achieved where glass guard installations are proposed.

Implementation

Effective immediately all glass guards installations that do not incorporate structural top rails shall be reviewed by a professional engineer and submit an Alternative Solution to the building official to explain how the glass guard complies with the structural redundancy requirement without the top rails (CAN/CSSB-12.20-04, "Structural Design of Glass for Buildings").

All guards shall be designed to withstand loads specified in Section 4.1.5.14 (Loads on Guards and Handrails) of the BC Building Code for Part 3 buildings or 9.8.8.2 for Part 9 buildings (attached Table 9.8.8.1), including kneeing. Owner and Contractor shall be responsible for ensuring documentation is provided at the time of permit plan review, or prior to the installation of the guards. Permit drawings should indicate the guardrail design. Height and restrictions to openings as outlined in Section 9.8 must also be adhered to.

Verification of Glass Guard Designs (refer to Background information)

Manufactured Aluminum/wood with glass infill panels:
Provide Manufacturer's specifications for review by Inspector showing conformance to Table 6.8.6.1 (See attachment for British Columbia Building Code – Section 9.8.8, Specified Loads for Guards Forming Part of Sentence 9.8.8.2(1)). Projects under supervision of a Registered Professional must provide confirmation of installation as outlined within the Letters of Assurance.

Custom glass guard systems (free standing with custom top cap):
Where custom guard rail systems with top cap are proposed, submit sealed structural design drawings, Schedule B, Schedule C-B and field reports verifying the system design and installation prior to Occupancy Inspection.

Custom glass guard systems (no top cap):
Where topless glass guard rail systems are proposed, submit alternative solution application including Schedule B, schedule C-B and field reports prior to Occupancy inspection.

Page 5 of 4



2024 BCBC TOUR

Division C



Local Building Bylaw Regulations – R.P.

How does your Building bylaw address Registered Professionals?

Examples from City of Penticton - MIABC model core bylaw template.

The Corporation of the City of Penticton
Bylaw No. 2021-21

A Bylaw for the administration of the Building Code and the regulation of construction.

WHEREAS the Council of the City of Penticton may, by bylaw, regulate, prohibit and impose requirements in respect to buildings and structures for the following:

- (a) the provision of access to a building or other structure, or to part of a building or other structure, for a person with disabilities;
- (b) the conservation of energy or water;
- (c) the reduction of greenhouse gas emissions;
- (d) the health, safety or protection of persons or property;

AND WHEREAS the Council of the City of Penticton is enacting this bylaw to regulate construction and administer the British Columbia *Building Code* in Penticton in accordance with the *Community Charter* and the *Building Act*;

AND WHEREAS the Council of the City of Penticton has employed trained building officials for the purpose of this bylaw;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

PART 1. TITLE

Citation

1.1. This bylaw may be cited as "Building Bylaw No. 2021-21".

March 2024 – EL 01 Zero Carbon update



Poll Question #5 – Bylaw updates

When was the last major revision to your Building Bylaw?

- Recent – within 5 yrs – 44%
- Not so recent – 5 to 10ish yrs – 39%
- Can't remember – 17%

Poll Question #6

Is your Building Bylaw modelled from the MIABC Core Building Bylaw?

- Yes – 51%
- No – 30%
- Would like to – no time – 19%



Local Building Bylaw Regulations – R.P.

Responsibilities (excerpts)

“**professional design**” means the plans and supporting documents bearing the date, seal or stamp, and signature of a **registered professional**;

PART 11. **REGISTERED PROFESSIONAL'S RESPONSIBILITIES**

Professional design and Field Review

- 11.1. The provision by the **owner** to the **City** of letters of assurance in accordance with the requirements of the **Building Code** shall occur prior to
- (a) the pre-occupancy site review coordinated by the **coordinating registered professional** or other **registered professional** for a **complex building**; or
 - (b) an occupancy inspection for a **simple building** in circumstances where letters of assurance have been required in accordance with the requirements of the **Building Code**, in which case the **owner** must provide the **City** with letters of assurance in the form of Schedules C-A or C-B, as appropriate, as outlined in the **Building Code**.
- 11.2. If a **registered professional** provides letters of assurance in accordance with the **Building Code**, they must also provide proof of professional liability insurance to the **building official**.



Local Building Bylaw Regulations – R.P.

Responsibilities

(excerpts)

Permit Application

11.4. The **building official** may require any **registered professional** carrying out the **professional design** and field review required under Section 11.1 to 11.3 to provide evidence that they have experience and expertise in respect of the **professional design** and field review of the context and scope required and at the discretion of the **building official**, a peer review may be required prior to the acceptance of any design or field reviews conducted by a **registered professional**.

11.5. Any **registered professional** required by this bylaw to provide letters of assurance shall show proof of professional liability insurance at time of **building permit** application.

14.6 Building Permit Application for Complex Buildings

14.6 In addition to the requirements of Section 14.5 of this bylaw, a **building official** may require the following to be submitted with a **permit** application for the **construction** of a **complex building** if the complexity of the proposed **building** or **structure** or siting circumstances warrant

- (a) site servicing and on-site storm water management drawings, including sufficient detail of **off-site services** to indicate locations at the property line, prepared and sealed by a **registered professional**, in accordance with the **City's** Bylaws;

14.7 Building Permit Application for Simple Buildings

- (m) include an excavation & storm water management plan design prepared by a **registered professional** in accordance with the **Building Code**;



Local Building Bylaw Regulations – R.P.

Permit Application

14.8 In **addition** to the requirements of Section 14.7 of this part, if a **project** involves

- (a) two or more **buildings**, the gross floor areas of which in the aggregate total more than 1000m²;
- (b) two or more **buildings** that will contain four or more dwelling units; or
- (c) otherwise if the complexity of the proposed **building** or **structure** or siting circumstances warrant,
- (d) a **building official** may require the following be submitted with a **permit** application for the **construction** of each **simple building** in the **project**:
 - i) site servicing drawings, including sufficient detail of **off-site services** to indicate locations at the property line, prepared and sealed by a **registered professional**, in accordance with the **City's** Bylaws;
 - ii) a **construction** fire safety, material staging and trucking route plan;
 - iii) a section through the site showing grades, **buildings**, **structures**, parking areas and driveways;
 - iv) a roof plan and roof height calculations in geodetic elevations;
 - v) structural, electrical, plumbing, mechanical or fire suppression drawings prepared and sealed by a **registered professional**;
 - vi) letters of assurance in the form of Schedule B referenced in the **Building Code**, signed by a **registered professional**;
 - vii) any other information required by the **building official** or the **Building Code** to establish substantial compliance with this bylaw, the **Building Code** and other bylaws and enactments relating to the **building** or **structure**, and



Local Building Bylaw Regulations – R.P.

Inspections for Simple Buildings

Inspections for Simple buildings

- 14.41 Despite the requirement for the **building official's** acceptance of the **work** outlined in Section 14.48, if a **registered professional** provides letters of assurance, the **City** will rely solely on field reviews undertaken by the **registered professional** and the letters of assurance submitted pursuant to this bylaw as assurance that the aspects of the **construction** referenced by those letters of assurance substantially conform to the design, plans and specifications and that the **construction** complies with the **Building Code**, this bylaw and other applicable enactments respecting safety. Copies of all field reviews must be submitted to the **City**.
- 14.42 Despite Section 14.45 of this part, a **building official** may attend the site from time to time during the course of **construction** to ascertain that the field reviews are taking place and to monitor the field reviews undertaken by the **registered professionals**.



Local Building Bylaw Regulations – R.P.

Complex Buildings

Monitoring only with specific check-ins

Other other types of permits – House moves, commercial ventilation, fire suppression, etc. with R.P.

Complex building Commissioning

14.48 For work in respect of complex buildings, the owner must

Building Bylaw No. 2021-21

Page 33 of 55

- (a) give at least 48 hours' online or written notice to the **City** when requesting a preconstruction meeting with the **building official** prior to the start of **construction**, and the **owner** or his or her representative must ensure that the **coordinating registered professional**, the **constructor**, as well as representatives of major trades, are in attendance;
- (b) give at least 48 hours' online or written notice to the **City** when requesting a pre-occupancy coordinated by the **coordinating registered professional** or other **registered professional** to have the **owner**, the **constructor**, and the **registered professionals** demonstrate to the **building official** and **City Fire Department** the compliance with the **health and safety aspects of the work**, the coordination and integration of the fire and life safety system, applicable **City** requirements and other enactments respecting safety and the conservation, **GHG** emissions and accessibility aspects of the **work**; and
- (c) cause the **coordinating registered professional**, at least 48 hours prior to the pre-occupancy coordinated site review coordinated by the **coordinating registered professional**, to deliver to the **building official** the Confirmation of Required Documentation described in the prescribed form, complete with all documentation in a hard covered three ring binder and in digital pdf format on a memory stick.



Engineers – Retaining and other structures

Geotechnical?
Structural?

Where does 1.2m come from? Varies across BC.

1.2m to 2.0m

What is required – sealed drawings & Letters of Assurance?

*When a stand-alone landscaping wall.

What about staggered walls and superimposed loads?

Typical Building Bylaw Requirements

All retaining walls require a building permit when they support ground that is critical to the stability of building foundations. [See BCBC 2018 A-9.3.2.9(4)]

CONCRETE RETAINING WALLS

Concrete retaining walls require a building permit and Structural Engineer's certification when they are greater than 1.2 m (4.0 ft) in height.

INTERLOCKING BLOCK RETAINING WALLS

Interlocking block retaining walls require a building permit and Geotechnical Engineer's certification when required by manufacturer's specifications or when they are greater than 1.2 m (4.0 ft) in height, whichever is lower.

WOOD RETAINING WALLS

All wood retaining walls & cribbing must be pressure-treated and require a building permit and Geotechnical Engineer's certification when:

- they support ground that is critical to the stability of building foundations (regardless of height) [See BCBC 2018 A-9.3.2.9(4).], or,
- they are greater than 1.2 m (4.0 ft) in height.



Engineers – Retaining and other structures

Staggered Walls

Superimposed Loads – Existing structures

Geotechnically or Environmentally sensitive areas

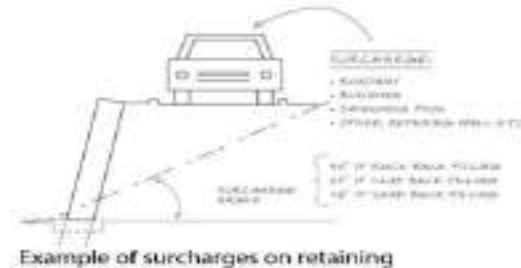
Stacked walls should be spaced no less than 2H or to 3V or no less than 45 degrees. An Engineer will be required for this type of design.

Please note that stacked retaining walls can create unique structural challenges and it is best to contact the building department if you are proposing stacked walls that are individually less than 1.2m (48") in retained height.

OTHER CONDITIONS THAT MAY TRIGGER A PERMIT

Please note that Building Permits and Engineering may be required for walls under 1.2m in height where:

- Located within a geotechnical or environmentally sensitive area (Development Permit area) – high hazard or works along steep banks or watercourses,
- The Building Official determines that the existing site conditions, such as overburden (such a driveway or steep slope) or poor drainage conditions which may create a hazardous condition.



WORKS NEAR EXISTING STRUCTURES AND WALLS

It is important to also verify that landscaping projects will not compromise an existing structure or dwelling. Proposed excavations should not be below a depth of a structure/footing projecting from a line at 45 degrees from the base of the footing/structure. (angle of repose – see side picture).



Engineers – Retaining and other structures

**EGBC guide – but
more for Civil works**

**What about other
structures – concrete
or aluminum panel in
ground pools?**

Engineered drawings?

• Put it in the Chat





Poll Question #7 – Retaining walls

A 1.8m retaining wall is being constructed at the rear yard of a property (away from buildings).

Should you request:

- Sealed drawings
- Letters of Assurance
- Both
- Not Sure



Part 4 and 9 Solar

**Seismic updates - On Hold
March 10, 2025**



Next L&L Sessions

April 25, 2024

Fire Protection

Fire Separations and Penetrations

- **Part 3**
- **Part 9**

May 2024

No Session

BOABC Conference

June thru Dec - 2024

Pending



Questions - Contact Us



Session feedback &
future topics
kkunka@boabc.org



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Communication
Reminder

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Meetings
Zone
Directors -
Mentors
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